

Laborie et Picardie

Paarl

Estate Guideline Document – Revision 02
2025.05.09

This document was compiled by *Louw & Louw Architects* on behalf of the **Laborie et Picardie Aesthetics Committee**



Paarl is situated on the N1, just 1 hour's drive outside Cape Town. Cape Town International Airport (50 kilometers away), makes Paarl an easily reached destination away from the city. Paarl is a charming town with Wellington, Franschhoek and Stellenbosch on its doorstep, nestled in between Paarl Mountain Reserve to the west and the Hawequas Mountains to the east. Paarl is regarded as the home of Afrikaans with the spectacular Taal Monument overlooking the valley. More information on the town is readily available on the town's website www.paarl.org.za

The farm, Picardie, is situated in the heart of the town adjacent to Laborie Estate, below the Taal Monument. Picardie has always been a wine farm, but due to its stunning location and the two natural springs it evolved into the perfect destination for guests and functions. Picardie spring water has also injected a substantial boost into the local economy.

Laborie et Picardie lies on the eastern edge of the farm between the historic manor house and the doorstep of Laborie Estate, with spectacular views over Paarl Mountain. The estate is unique in being situated on the urban edge of town while facing north. Each owner has own title to his erf as well as having access to the neighbouring wine estates and the nature reserve with abundant wildlife and total privacy from Main Road.

Each owner can plan the individual layout of his home within the restrictions set out in this Guideline document. *Louw & Louw Architects* are the overseeing architects of the estate and the owner can choose their preferred builder. All designs need to be mandated to a Professional Architect registered with SACAP. Builders need to be registered with the MBA and NHBC.

TABLE OF CONTENTS:

A Introduction

01 Introduction	05
02 Responsibility	06
03 Design Criteria	06
04 Submission Procedure	06
04.1 Sketch Plans	06
04.2 Working Drawings	07
05 Approval	07
06 Building Completion	07

B Guidelines and Restrictions

07 Site Restrictions	08
08 Building Lines	08
09 Building Coverage	10
10 Planning	10
11 Levels	11
12 Height	11
13 Walls	13
13.1 Boundary Walls	13
13.2 External wall finishes	14
13.3 Paint Specification	14
14 Braais, Chimneys & Fireplaces	15
14.1 Chimney finishes	
15 Roofs	16
16 Windows and Doors	17
16.1 Preferred finishes	18
16.2 Exclusions	18
17 Verandahs and Pergolas	18
18 Balustrading	19
19 Paving Courts and External Walkways	19
20 Paving Driveways	20
21 Garages and Outbuildings	20
22 Carports	20
23 Swimming Pools	21
24 Burglar Bars	21
25 External Plumbing	21
26 House Names	21
27 External Lighting	20
28 Antennae, Pipes, Cables and Air-conditioning	22
29 Service Facilities	22

C General

30 Builder's Responsibilities	22
31 Socio-Economic	22
32 Land	22
33 Water	23
34 Energy	23
35 Landscaping Requirements	23



01 Introduction

The layout of the Estate is done in such a way as to maintain the rural feel of the larger area. Houses on the northern edge are pulled back from the adjoining Laborie vineyards, and the scale of these should be sensitive rather than bold. Green corridors and public open spaces link the Laborie Estate to Picardie Guest farm. The developer envisages informal landscaping and well proportioned architecture, on a scale complimenting the surrounding rural setting.

The intention of this Guideline document is to encourage a sensitive development that reflects the heritage and spirit of Paarl and the valley. Replication of the vernacular Cape Dutch architecture is not the intention, but to be inspired by it and to create a contemporary synthesis through the use of local, natural materials combined with a sensitive understanding of the site is key. Building forms, proportions, materials & pallets will reflect the vernacular, but in a contemporary way to make the most of the inspiring views and landscape.

Louw & Louw Architects in conjunction with *Arun Holdings* and *Drakenstein Municipality* have drawn up this Guideline Document to assist the Homeowner in the planning of their homes, within the parameters laid out in this design manual.

The Laborie et Picardie Aesthetics Committee (later referred to as LPAC) is set up to ensure that the houses and landscaping are of exceptional design. This is to protect the interests of the Buyers and the Developer. The LPAC consists of the following members : *Louw & Louw Architects* (Controlling Architects) , the Designated Official for the Drakenstein Municipality, Johan Laubscher (Arun Holdings) and _____ (Attorney).

02 Responsibility

The Laborie et Picardie guidelines are in addition to the Municipal Council and National Building Regulations. LPAC reserves the right to amend this document to ensure that the visual integrity of the development is retained.

Plans approved by LPAC carries no warranty whatsoever regarding the structural integrity or adequacy of the design. Approval is limited to the aesthetics of the design and it's compliance with the Guideline Document.

The onus is on the homeowner and their architect to ensure that the plans submitted are in accordance with the current architectural guidelines.

03 Design Criteria

All building procedures must comply with the National Building Regulations. Waivers to the guidelines must be fully motivated in order to be considered by LPAC. In principle waivers will be granted on architectural merit, provided they do not unreasonably affect the amenity of neighbouring properties and are not contrary to the spirit of the guidelines. The decision of the LPAC is final.

All plans are first to be submitted by the owner for approval by the LPAC. Plans complying with the architectural guidelines, may not be unduly withheld. The plans are to be submitted to the Drakenstein Municipality for approval after approval by the LPAC.

04 Submission Procedure

- Sketch plans which include colour specification must be submitted to LPAC for approval. A3 PDF format (hardcopies may be requested).
- Final plans to LPAC for approval - PDF and hard copies.
- Final LPAC approved plans to be submitted to Drakenstein Municipality.

04.1 Sketch Plans

- **Site Plan / Development Plan**
Indicate roofs, contour levels, hard and soft landscaping information and orientation.
- **Floor plan**
Indicate dimensions, room names and areas: both internal and external.
- **Typical section(s)**
Sufficient information on height restrictions.
- **Four elevations**
All finishes on walls and roofs, windows and door types and an accurate natural ground level, also indicating cut and fill if required.
- **Artist impression / rendering, 3 D model**
Please submit an artist impression, rendering or 3D model to support technical documentation.

The LPAC shall take the full architectural guideline into consideration at the sketch plan stage. Only one set of the afore mentioned drawings to be submitted with a completed checklist.

An architectural scrutiny fee of R_____ for the LPAC before the submission process can proceed. A fee of R_____ applies for each re- submission that needs to be made before approval of final plans. Final plan submission is excluded.

04.2 Working drawings

Plans submitted are to include the following:

- Site plan
- Landscaping Plan
- All floor plans
- All elevations
- All sections and construction details
- Drainage details

3 Sets of drawings in compliance with the approved sketch plans are to be submitted to LPAC, 1 Sets of the approved drawings will be returned for submission to Drakenstein Municipality for approval.

The LPAC reserves the right to interdict purchasers from commencing construction without the plans being approved by the LPAC in terms of this clause.

05 Approval

While the building plans must comply with all regulations, the approval or rejection of such plans shall be at the sole discretion of the LPAC, provided that such approval shall not be unduly withheld if the plans comply with the architectural guidelines. LPAC shall notify the applicant of its decision in writing seven days from date of LPAC meeting. The committee shall convene through arrangement with the owner.

No deviations from the approved drawings will be permitted unless the deviation is re-submitted and approved in writing prior to construction. Approved drawings are required from the LPAC prior to commencement of any construction activities. Where construction work of any nature is carried out without such approval, the LPAC may give notice for its removal within 14 days. If the unapproved work is not removed on expiry of such notice the LPAC may engage others to remove the unapproved work and recover the costs of this work from the Property Owner.

06 Building Completion

All owners must commence with construction of their dwelling within a two year period. The two year period will commence from date of transfer. An occupation certificate must be obtained from the Drakenstein Municipality prior to occupation of the dwelling.

07 Site Restrictions

Respect must be given to a neighbour's privacy in setting out the house design. The top soil layer of 150mm should be removed with site establishment and reinstated after construction.

08 Building Lines

There are three types of erven with building lines applicable as per below. It is strongly encouraged to set back the first floor by minimum 1m from the Ground Floor Building line.

Erven larger than 500m²

Street Boundary

- Street building lines 4.5m

Side Boundaries 2.5m

Rear Boundaries 2.5m

Erven smaller than 500m²

Street Boundary

- Street building lines 2m

Side Boundaries 1.5m

Rear Boundaries 1.5m

Erven 27 – 31, 33, 34

Rear Boundaries

Erven 33 & 34 joint boundary line Main Building setback line as per SDP
1.5m due to driveway restrictions (access to garage)

Secondary structures like swimming pools, decks, patio's and verandahs may be considered in the area between the building setback and the 7m northern building line. The intention is that any part of the building over the setback line is regarded as a secondary structure to the main building form. The veranda may be roofed but made weatherproof only with shutters or blinds as opposed to fenestration.

Existing trees on the sidewalk may not be removed and must be accommodated in the design. In extreme cases the LPAC may consider moving an existing tree, at the cost of the applicant. The positions must be shown on submission.

Where a property is bounded by two or more streets, the edge across which vehicular access is orientated will be deemed the street facing boundary. The same building lines for side and rear will apply to boundaries other than the deemed street boundary.

Where possible, it is encouraged that garages are set back behind the facade of the main house. Garages are to have a pergola or similar overhang structure above their vehicular entrance doors. Pergolas may be timber, concrete or aluminium structures. Windows with shutters must be introduced where garage entrance is turned through 90 degrees to the street. Managing the scaling and proportion effect of the garages on the streetscape will be evaluated on individual merit.

- The driveway access to the road max 6m

Driveways must extend from the erf boundary to the adjoining kerb and each Homeowner shall provide two 100mm PVC sleeves below their drive way in the sidewalk complete with draw wires. The sleeves are to be installed alongside one another at 1500mm from the kerb and 600mm deep are to extend a 800mm beyond the edge of the driveway. These sleeves must be indicated on the submission drawings.

Driveway materials are to be Smartstone (or similar) concrete cobble (charcoal or grey colour, square or paduan), exposed aggregate concrete surface beds (colour to be granite grey – 50% Villiersdorp + 50 % Hornfell) or a combination of the two.



Water fronting boundaries 10.0m (minimum) which will be relaxed to the applicable general setback subject to provision of a geotechnical report on the soil conditions and a letter from the Structural Engineer confirming receipt of same and that structure will be designed in accordance with the report.

Only in unique circumstances may a relaxation of building lines be considered by the LPAC. Any such relaxation will still be subject to final Local Authority approval.

09 Building Coverage

Maximum coverage on site is 50%. Erven smaller than 500m² maximum 60% coverage. Total bulk may not exceed 75% of the stand size. First floor area must not exceed 75% of ground floor area. Due to the severe sloping nature of some sites, buildings may be required to have multiple levels to adhere to height restrictions. Parts of buildings that are cut into the site may be regarded as lower ground floor structures and may be reviewed on merit and subject to the discretion of the LPAC. Erven smaller than 500m² are exempt of the 75% first floor limitation.

This includes covered patios, verandas and decks, car ports, garages, out buildings and all roofed areas. The driveway to the garage and walkways are not included in the maximum coverage. An occupiable roof deck with pergola over the garage is permitted but will be considered 2 areas.

Only one dwelling is permitted per erf except where noted otherwise by the Developer. No further subdivision of any of the residential stands by purchasers shall be allowed. Initial building shall not be smaller than 200m² and this figure will exclude any garage or covered patio or open-sided hard covered area.

10 Planning

Paarl has a moderate climate of cold, wet winters and long, hot, dry summers. Courtyard architecture is very appropriate in this climate as it provide privacy, acts as a passive cooling system and provides protection on windy days.

Building elements are encouraged to be long and narrow, fragmented barn-like elements, connected by flat-roofed structures.

The northern façade of buildings (facing Laborie and the vineyards): barns should run parallel to the north front.



Where north facing gables are used on first floors, the parallel barn should be the dominant form:



This allows for natural sunlight to penetrate the building. Best quality of light is from the South. Controlled amount of direct sunlight from the North is important and it must enter the building through the correct application of overhangs and pergolas.

Because of the added advantage that each site is sloping towards the North, the building elements must step accordingly, allowing the raised spaces to bask in the light and views. U, H and courtyard type plans with outbuildings connected with walkways and pergolas are encouraged. In / outdoor living is encouraged by means of courts, decks patios, and verandas.

11 Levels

Site levels are to remain as close to the original as possible. If the original site levels are disturbed a platform level or levels are to be agreed by the LPAC prior to building operations. No imported fill is to be brought to site. Terracing of the built areas and garden is encouraged and cut and fill in relation to the site is allowed.

- Finished Floor Levels (FFL) must step with the site.
- Finished Ground Level is defined as the cleared / terraced site level.
- Floor level is defined as being 170mm above finished ground level

12 Height

The buildings are limited to a height of 8m and the design is limited to double storey, measured from base level to apex of roof. The base level of a building is defined as the mean level between the highest and lowest points of the natural ground level of the site immediately adjacent to the building. See Addendum A. The base level and height restrictions to be clearly indicated on the site plan, elevations and sections.

The LPAC will determine this according to the existing site survey plan which is to be provided by the owner. Each plan must include the survey drawing of the site as well as the proposed levels or contours of the finished project and the levels of any concrete slabs and surface beds. Double volumes, lofts and first floors are allowed if it falls within the below-mentioned height restrictions.

Erven 33, 34: limited to 6m height restriction (typical single storey)

Erven 18, 19, 32, 35: limited to 7m height restriction (typical 1,5 storey)

Due to the slope of the sites and height restrictions which will limit first floor wall plate heights, dormer, gable and other similar roof windows and doors will be allowed, subject to the approval and at the discretion of the LPAC.



Diagram: An example of gable dormers

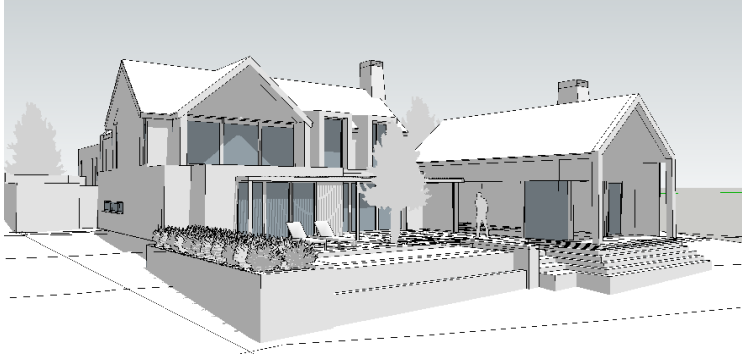


Diagram: An example of gable and shed dormers

Dormers should be the same architectural style and should use the same materials as the rest of the elevation.

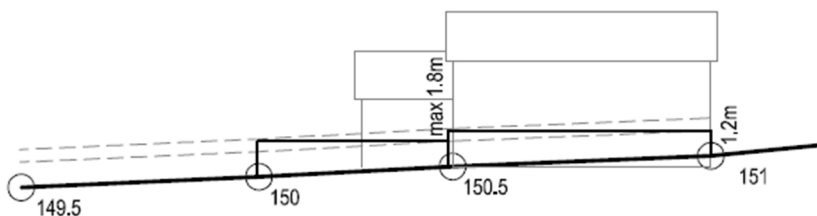
13 Walls

Walls and retaining walls are to step with contour of the site. No retaining wall may exceed 1.0m in height from the natural ground level and it may terrace should it be required. A building is not to consist of a singular large block but rather a playful combination of interactive spaces. The wall architecture is to emphasize this. Plumbing pipes are to be suitably concealed within walls or ducts and may not be exposed to the exterior. The use of correctly proportioned buttresses on double storey elevations are encouraged.

13.1 Boundary walls

The street facade should preferably be left open and the use of natural and indigenous landscaping to screen the facade is preferred to structure.

Wurf type walls with maximum height not exceeding 900mm will be permitted. A single, rounded or double pitch shaped plastered coping is preferred along the front and side boundaries. These may be topped with a simple steel rail using only horizontal or vertical elements in an approved design. The combined height of the wall and rail shall not exceed 1200mm above the natural ground level. 1200mm Screening must be incorporated into the design around pool areas as per building regulations and it must form an integral part of the design of the house. Joint boundary walls should step with the sloping site with a maximum height not exceeding 1.8m.



Solid drying yard walls between the erven shall not exceed 2100mm in height and the length of walls exceeding 1200mm in height may not exceed 25% of the total erf perimeter in length.

No wall exceeding 900mm in height or combination of wall and fence exceeding 1800mm in height will be permitted ahead of a line extending the plane of the front façade of the house to the side boundaries except where the LPAC considers these to be integral to the design of the house.

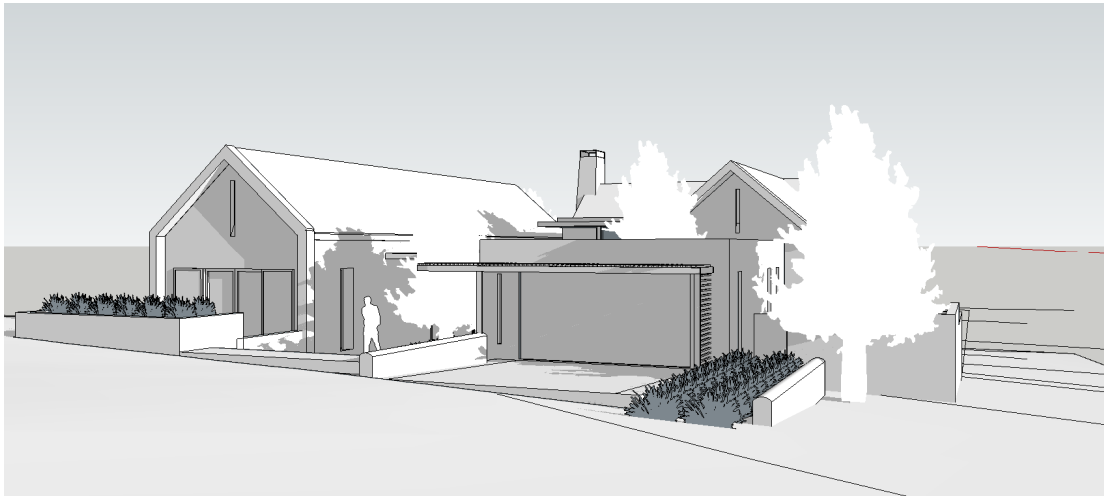
No gates shall be higher than the adjoining wall. All boundary walls are to be smooth or bagged plastered painted as a minimum and shall be finished on both sides. Erven 27 – 31: ClearVue Betafence to match estate fence between estate boundary and 7m servitude.

13.2 External wall finishes: combination of the following encouraged :

- Locally sourced dry pack stone = granite as per LPAC approved sample (dry packed to match entrance gate walls)
- Painted / Lime washed smooth or lightly textured plaster
- Bagged and painted brickwork (in limited amount)
- Exposed clay Klompie brickwork (in limited amount)
- Natural timber or aluminium cladding (in limited amount) may be considered as focal elements to the discretion of the LPAC.
- Off shutter concrete elements

General exclusions

- Rough freehand plaster / freeform textures (e.g. English cottage plaster, fish scale plaster, banana plaster)
- Exposed facebrick or cement blocks
- Painted timber or fiber cement clapboarding
- Stonework tiles or cast concrete cladding



13.3 Paint Specification

All external plastered walls to be painted with the specified primary colour (possibly in combination with specified accent colours in limited amounts)

Paint specification: Midas (or similar approved)

1BW Almost There
2BW Grey Dawn
Hemp (limited focal areas)
4BEG Conclusion (limited focal areas)
Arniston White



Note that the location and extent of any accent colour must be marked on the elevation drawings for approval by LPAC.

14 Braais, Chimneys and Fireplaces

Chimneys are a vital feature in the contemporary vernacular architectural landscape. These are to be seen as a primary form and architecture to reflect this. The maximum chimney height is 9m from FFL to top of chimney. Chimneys may protrude the 2,5m building line by max 500mm in order to create a definition on a facade.

Chimneys are generally to be of masonry work in a finish as permitted for walls. Metal chimneys, finished to match the colour of the roof, may be permitted at the discretion of the LPAC. These metal chimneys must project through the roof in such a position that their visual effect is limited and that they do not project higher than any adjoining ridge. The exposed portion should not exceed 50% of the height of the roof they are positioned in. Exposed steel chimney flues may not exit through or be fixed externally to walls.

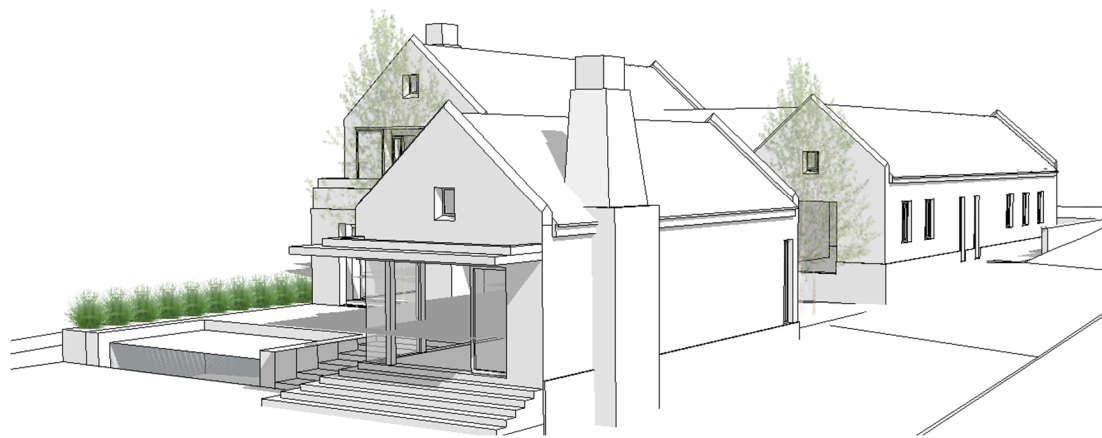


Diagram: chimney shapes



15 Roofs

Roofs form an integral part of the design, visually, aesthetically and practically. Our vision is such that the roof architecture and tree canopies 'tie' the development together. Roof articulation is preferably simple with gabled ends, hipped roofs are not permitted. Parapet gables or roof overhang gables may be considered and be to discretion of the LPAC. Flat roof portions will be allowed as links between pitched roof elements, to simplify roof plans or to create shade.



Diagram: roof overhanging gable (dominant in the development)



Diagram: parapet gables may be considered at the discretion of the LPAC

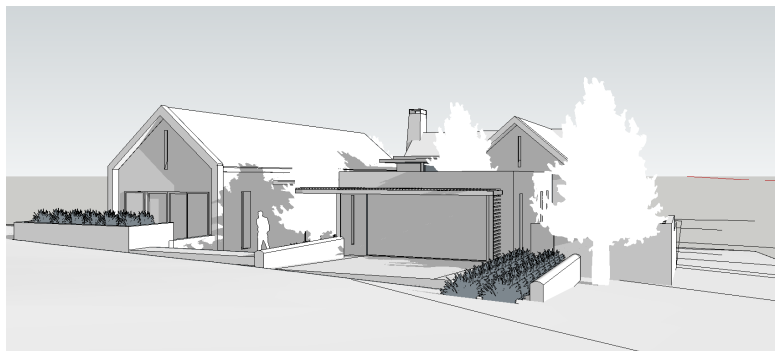


Diagram: gable details (concrete, steel or timber details) may be considered at the discretion of the LPAC

Profiled secret fix steel sheeting in Colorbond Ultra Matt sheet in Alley Matt. Flat roofs constructed of concrete will be encouraged and should have a finishing layer of grey stone chip laid over any waterproofing. Lean-to roofs may be considered over patio's.

Due to the slope of the sites and height restrictions which will limit first floor wall plate heights, dormer, gable and other similar roof windows and doors will be allowed, subject to the approval and at the discretion of the LPAC.

All rainwater goods which are exposed to match wall or roof. All roof pitches are to be 40°. Eaves overhangs must be max 300mm, measured from predominant face of wall to fascia and bargeboards may be either flush to wall or 300mm off predominant wall surface. The extent of flat roofs is limited 35% of the total area of the roof measured on plan. Waterproofed flat roofs forming planter for succulents will be encouraged.

16 Windows and Doors

It is encouraged to mix large solid walls with small openings (vernacular architecture, naturally cooler in summer and protects privacy of neighbours) on East, West and South sides with larger openings or clear glazing on North side to maximise views. Roof overhangs, verandahs or pergola for shelter from harsh summer sun must be incorporated to the North. Only clear glass is allowed, except where UV protection is required and in bathroom windows where non-decorative sand blasted glass may be used. This must be clearly stated on the building plan submission.

Window proportions shall be rectangular in a vertical format. Large doors and windows in a horizontal format will be permitted where screened or recessed a minimum of 1500mm behind the outer line of a pergola, verandah or other accepted shading device. Ground and first floor door heights should be minimum 2400mm and 2200mm respectively. Front doors shall be simple and to match the windows and door in material and finishes. Frameless glass doors will be permitted subject to being recessed 1500mm behind a shading element. Handles and ironmongery should be selected to suit the estate's aesthetic.

Angled reveals will be encouraged. Window sills are to be simple and no decorative or figurative mouldings, sills and surrounds are permitted. Plaster-bands to be simple and square.

The use of sliding aluminium or timber shutters are strongly encouraged – minimum 1 shutter on the street facing façade.

16.1 Preferred finishes:

- Timber window frames (natural or stained)
- Timber or aluminium shutters and sliding screens are encouraged (natural or stained)
- Aluminium door and window frames (powder coated) colours: ANP 39007 Matt Grey Aluminium; ANP37030 Matt Stone Grey. Alternative colours in the same palette may be considered.
Applicant to present full sample board including wall & roof colour.
- Frameless or semi-framed glass (natural or powder coated)

Exclusions :

- Reflective glass
- Winblocks and glass blocks
- Bay windows
- Combination of timber and aluminium windows / doors

17 Verandahs and Pergolas

Considering the climate in the valley, verandahs and pergolas are highly recommended and form an integral part of the in / outdoor lifestyle. These items are to be designed in keeping with the main structure. A pergola element (timber, aluminium, steel or concrete) is mandatory in front of the garage or an equal length of pergola provided elsewhere on the street facing facade.

Posts can be of the following:

- Timber posts (natural)
- Painted steel posts clad with timber (natural)
- Brick and plastered
- Aluminium to match doors & windows

Material may be:

- To match roofing material
- Timber battens or aluminium diffusers
- Solid concrete structure

Fixed or fitted fabric awnings may only be fitted within the building envelope, behind fascia beams or below pergolas and they may not project beyond this extent. These awnings may be of a single colour in line with the estate's palette. The installation will be permitted at the discretion of the LPAC.

18 Balustrading

The following will be allowed:

- Frameless glass
- Brick and plastered
- 2/3 Brick and plastered with 1/3 frameless glass or steel
- Painted or epoxy coated horizontal and vertical steel - design to be approved by LPAC
- Steel could be used in conjunction with timber handrail

All steel balustrades to be black or a dark grey unless prior approval is obtained from LPAC for use of an alternate colour. Design drawings are required with submission. Specific exclusion: stainless steel.

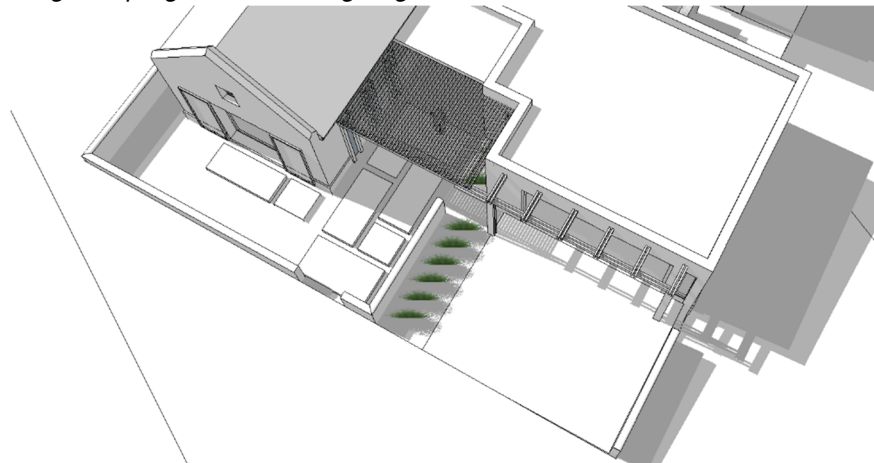
19 Paving courts and external walkways

The following surfaces are recommended:

- Cobbles
- Stone from area
- Natural stone chip
- Apricot pips
- Screeded concrete (and tinted) if desired
- Timber decking
- Natural stone tiles
- Exposed clay Klompie brickwork (in limited amount)

Where possible, it is advised (and more cost-effective) to make use of the wonderful selection of ground covers.

Diagram: pergola in front of garage / diffusers as entrance element



20 Paving Driveways

Garages or carports are encouraged to be as close to road as possible, thereby minimising amount of paving.

Recommended paving includes:

- Cobbles (square or paduan), concrete or granite
- Stone paving set in concrete
- Exposed aggregate and paver edge – colour: granite

Exclusions include:

- Concrete or tar-mac paving

21 Garages and Out buildings

Garages must be minimum double with a single double door or 2 single doors. Garage doors must be 2400mm in height and of timber or aluminium with a horizontal profile, natural timber, stained or painted in paint colours match windows and doors. No flat roofed carports will be permitted unless they match and blend with the design of the main dwelling.

Structures to be permanent in nature. Wendy houses or sheds are not permitted. No staff accommodation should be nearer to the street than the main building and should be integrated into the overall design. Staff accommodation and kitchen areas should open onto screened yards or patios. Outbuildings and additions should match the original building design in style, elevation and material usage.

No braai areas, dog kennels and covered facilities for caravans, boats or trailers are to be visible from the road and these may not be placed in the side space (building lines). No shade netting is permitted as a building element. Specific provision is to be made for a drying yard which is to be marked on the drawing.

22 Carports

It is recommended that the pergola element in front of the garage acts as a shading device for cars.

Materials preferred:

- Timber posts (natural or stained)
- Timber battens or aluminium diffusers as shading device

23 Swimming Pools

The by-laws of the local authority are to be strictly adhered to. Pool pumps and filters to be concealed. Pool cover is compulsory. No above ground or portable pools is permitted.

24 Burglar Bars

In the event that burglar bars are fitted these must be internal and should be aligned with the windows, mullions and transoms. Steel frame in simple grid pattern, purpose made to suit the proportions of the windows and doors. No external Trelli-doors allowed.

25 External plumbing

All plumbing is to be appropriately designed to be built into brickwork ducts or cavities to ensure that these items are not visible. Plumbing and washing lines must be fully screened by suitable walls and may not be visible from the street or any adjoining green (public) area. Specific provision is to be made for a drying yard which is to be marked on the drawing.

Mechanical equipment and plant such as air-conditioners (and grilles), ducts, pool pumps, etc. must be designed into the buildings and / or adequately enclosed or screened off from view from adjoining streets. The position of all these units is to be specifically marked on the submission and all screens to be fully detailed on submission.

26 House names

No names, advertising or tourism boards allowed without consent from the LPAC. House numbers to match estate signage – Ribbon letters by Dear Abbey or similar approved.

27 External lighting

In order to preserve the rural character of the estate, lighting levels will be kept to a minimum, with only low-level bollard lighting used in public open spaces. Street furniture and signage will be designed to compliment the “agricultural” aesthetic of the development

All external light units on properties shall conceal the light source from roadways and adjoining buildings and only indirect lighting will be permitted. Low level lighting is required. No floodlighting or other which disturbs neighbours will be permitted. Fittings to be as unobtrusive as possible and no Victorian style fittings will be allowed.

Where necessary to light walkways or steps recessed brick lights at max 300mm above ground will be permitted. Full specification or illustration of all external lighting and positions to be included on submission. It will be encouraged to limit or omit external lighting as far as possible and to look to preventing “light spill” from patios and homes onto adjoining areas.

28 Antennae, Pipes, Solar panels and Air-conditioning

TV aerials, satellite dishes, solar heating / PV panels and other exterior items should be incorporated into the building and form part of the basic structure as far as possible and should be clearly shown on the approval drawings. These elements must be fully screened by suitable walls and may not be visible from the street or any adjoining green (public) area.

Air-conditioning outside units must be fully concealed. Positions to be clearly indicated on the LPAC submissions.

29 Service facilities

Gas cylinders, refuse bins, compost piles and clothes lines must be screened within the service court so as to not be visible from street, neighbouring dwellings or any adjoining green (public) area.

30 The Builder's Responsibilities *(read with HOA specifications)*

- Establish boundary shade netting screens and maintain it during construction period
- Establish working and storage areas
- Re-locate all indigenous vegetation prior to earthworks for later replanting
- Establish site ablution facilities prior to any work taking place
- Train his employees in environmental awareness toward the protection of fauna, flora, natural features and any archaeological material that may be discovered.
- Prevent erosion
- Manage / recycle refuse and waste
- Manage noise and dust
- Manage storm water and effluent
- Remove all polluted water off site
- Prevent fires
- Control pollution
- Erect Builders Board – See Addendum for template

No building material may be stored or dumped on the remainder of the site or neighboring erven during or after construction. Each site is required to have its own rubble and waste water container and the onus is on the contractor to get written permission from Drakenstein Municipality to dump on it's dumping site.

Contractors entering the Estate will be subject to Security Clearance and Rules. The use of construction vehicles on the Estate by contractors must be by way of written permission by the Estate Manager. Under no circumstances may any vehicles which are listed as not being suitable to travel on the Estate roads be used.

31 Socio-Economic

Locally sourced materials and labour will be encouraged.

32 Land

Measures to minimise disturbance to landscape during and after construction is encouraged.

33 Water

Water wise technologies, rainwater harvesting along with underground water storage are encouraged. Indigenous landscaping is compulsory. Water storage tanks to be fully concealed.

34 Energy

PV systems are to be mounted in the plane of the roof and the framing is to be black or coloured to match the roof.

Solar water heating and PV panels are favoured above the use of municipal electricity, however discreet positioning of this from a design point of view is crucial and need to be approved by the LPAC. The plans are to be approved by the Local Authority.

35 Landscaping Requirements

The quality and merit of landscaping, together with the assessment of the final installation, will be subject to approval by the Design Review Panel / HOA to ensure that it contributes to the overall quality of the environment as envisaged in the Landscape Master Plan. A Landscaping document will be developed as a Landscaping Guideline document.

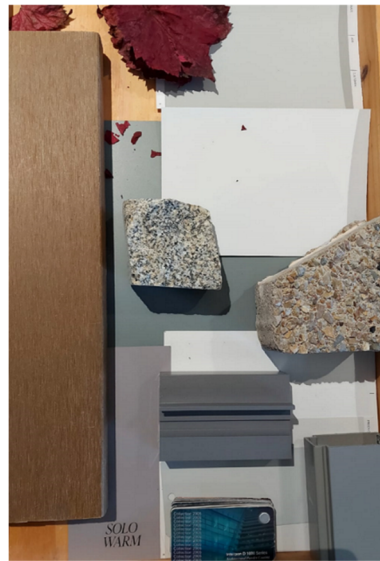
Planting, details and irrigation plans must be prepared for submission for approval by the LPAC. This will also apply to any additions or upgrades to gardens.

Note:

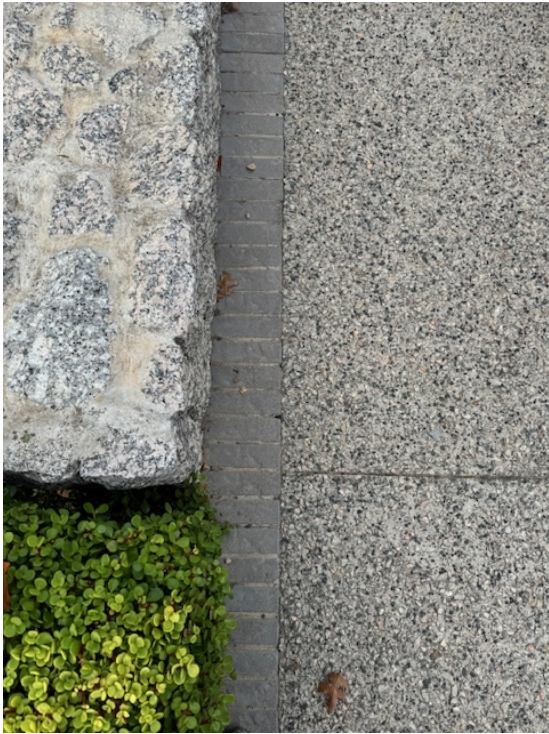
- North front erven (27 – 31, 33 - 34): a detailed landscaping plan to be submitted to Drakenstein Municipality for approval, indicating planting, swimming pools, terraces, hard landscaping, pergolas etc. for the areas between the Main building setback and Laborie erf boundary.
- All site excavations to be re-habilitated
- Minimum tree bag size to be 500L to ensure half anticipated tree maturity is achieved in 7 years
- Due to the lack of space between properties we encourage the use of vertical retaining walls (maximum 600mm high) in lieu of slopes to guard against high un-stepped embankments. The use of vertical retaining walls also reduces the overall scale and height of retaining elements across the site. Swimming pool retaining structures to be maximum 1m high.

Laborie et Picardie is located in the fertile Paarl valley. The advantages of an indigenous garden are both a water wise choice and aesthetically blending with the surrounds. A succulent garden comprises of a huge variety of strong sculptural plants and trees, herbaceous, and annual species will be encouraged. It will attract a wide range of butterfly, bird and animal life with minimal maintenance.

A detailed planting and irrigation plan must be submitted indicating plant species, densities, sizes, positions of plants automation/or otherwise, nozzles, spray lines, main lines, valves and material specifications. It must be borne in mind that irrigation water (potable) must be used sparingly. All retaining structures must also be indicated.



Louw&Louw.
ARCHITECTS ARGITEKTE



Norval Louw

+27 (0) 79 173 9190

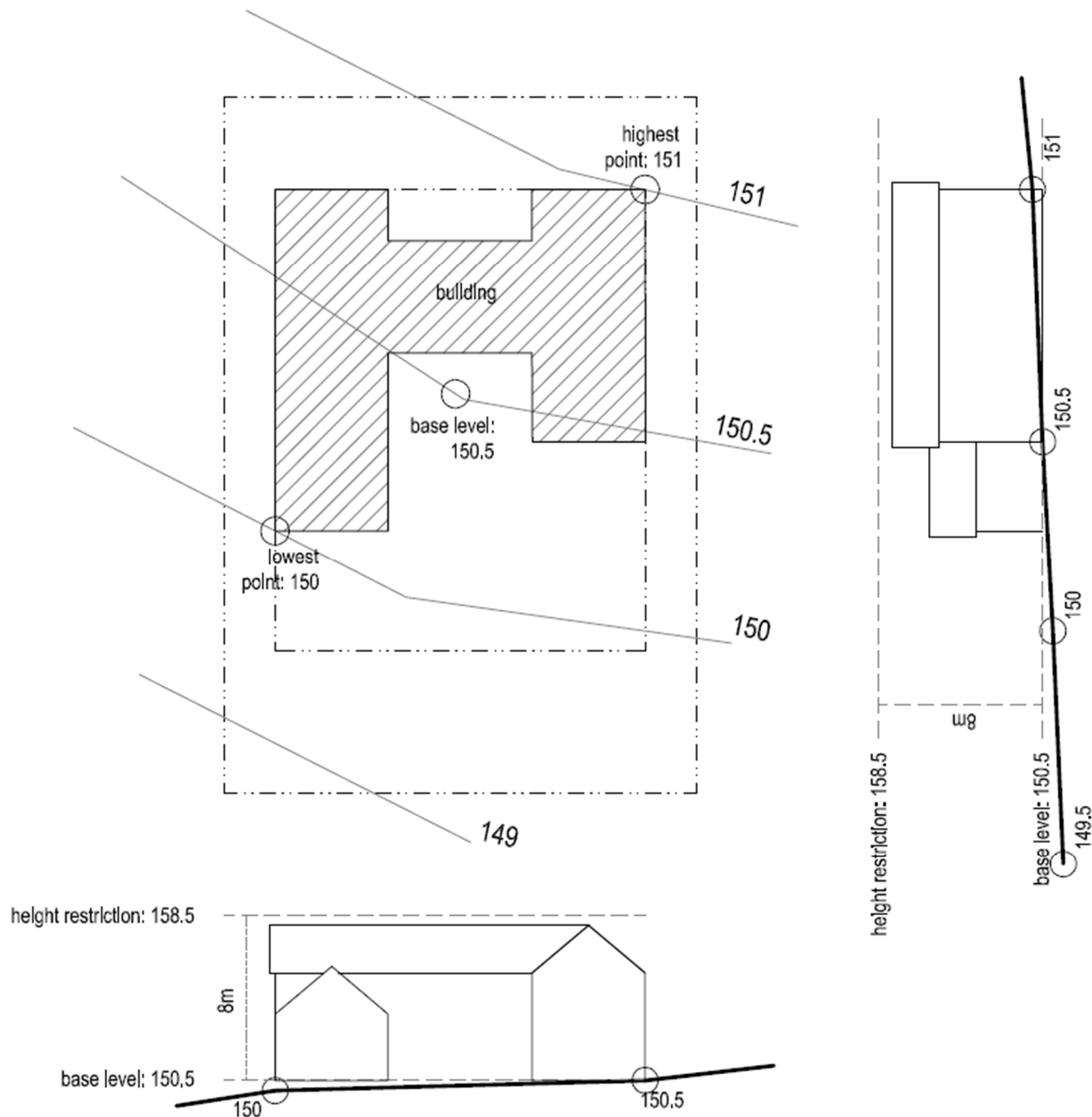
+27 (0) 21 863 0424

norval@louwarchitects.co.za

This document was compiled by *Louw & Louw Architects*. Intellectual property copyright *Louw & Louw Architects*.

Addendum A: Base level & height restriction diagram

The buildings are limited to a height of 8m and the design is limited to double storey, measured from base level to apex of roof. The base level of a building is defined as the mean level between the highest and lowest points of the natural ground level of the site immediately adjacent to the building. See figure below:



Addendum: Applicant to Complete and Include below diagram with all submissions

Laborie et Picardie, AESTHETIC COMMITTEE KEY NOTES: PLAN LAYOUT LEGEND			Erf no:
	ITEM	GUIDELINES / REGULATIONS:	COMPLIANT
01	BUILDING LINES	Erven larger than 500m²: • Street building line: 4.5m • Side & rear: 2.5m Erven smaller than 500m²: • Street building line: 2m • Side & rear buildubg lines: 1.5m Erven 27-31, 33, 34: Main building setback as per SDP	Comply
02	DRIVEWAYS	Access to road max 6m. Materials: Exposed aggregate (granite grey) Concrete or granite cobbles (charcoal or grey, square or paduan) No trees on the sidewalk to be removed. Provide 2 x 100mm PVC sleeves below driveway 1m from kerb. Provide 2 x 50mm data sleeves 1m from kerb.	
03	BOUNDARY WALLS	Please see site plan, boundary wall elevations and details.	
04.1	ROOF: SHEETING	Secret fixed steel sheeting. Colour: Colourbond Ultra Matt: Alley Matt Pitch 40 deg. Eave overhangs: max 300mm	
04.2	ROOF: FLAT CONCRETE	Max 35%	
05	CHIMNEYS	Positions to be indicated on roof plan. Exposed Metal flues not to project higher than ridge of roof, not to exceed 50% of height of roof. Colour to match roof.	
06	AWNINGS	To be indicated on roof plan. Fixed or fitted fabric awnings.	
07	PERGOLAS	Pergola element mandatory in front of garage. Material: timber, concrete, steel or aluminium to detail, Finish to match window and door colour	
08	SOLAR PANELS (HEATING / PV)	Indicate position on roof plan. Not visible from street Solar Panels to be black with black frames.	
09	DSTV DISH	Indicate position on roof plan.	
10	AC UNITS GAS BOTTLES POOL PUMPS	Adequately enclosed or screened off from view of street All swimming pool pumps outside building lines to be silent type pool pumps.	
11.1	STORMWATER: ROOFS	Indicate position of full bores and RWP's Downpipes to be concealed in walls	
11.2	STORMWATER: SITE	Indicate run, gulley's, RW channels, point of disposal.	
12	SEWER	Indicate run and connection to estate sewer.	
13	HEIGHT RESTRICTION	Base level clearly indicated on Site Plan Base level and height restriction clearly indicated on sections and elevations	

Addendum: Applicant to Complete and Include below diagram with all submissions – on drawings or as separate page.

Laborie et Picardie, AESTHETICS COMMITTEE		Comply
MATERIAL NOTES:		
<i>FINISHES & SPECIFICATION TABLE</i>	<i>SPECIFICATIONS</i>	
Wall paint colour	Plaster and paint. Colours: • Arniston White • Almost There • Grey Dawn • Hemp (accent) • Conclusion (accent)	
Fascia paint colour	Colour to match wall colour	
Soffit paint colour	Colour to match wall colour	
RWDP colour	Colour to match wall colour	
Paving type & Colour	Exposed aggregate (granite grey – 50% Villiersdorp = 50% Hornfell) Concrete or granite cobbles (charcoal or grey, square or paduan)	
Stone cladding colour & pattern	Slate stone cladding to match gatehouse	
Window & door colour	Aluminium. Colour: Matt Stone Grey or similar palette to be approved	
Garage door colour	Colour to match aluminium colour	
Drying yard gate material & gaps	Colour to match aluminium colour	
Roof colour & profile	Sheeted, colour Ultra Matt Alley Matt	
Solar panels frame & glass colour	Colour to be black with black frames	
Concrete slab waterproofing	Derbigum waterproofing acc to specialist	
Pergola finish & colour	Aluminium to detail, finish to match window and door colour	
Pelisade colour	Steel pelisade. Finish to be black.	
Gutter colour	Seamless aluminium gutters. Colour to match roof sheeting.	

LABORIE ET PICARDIE

ERF. 23786

New House for Mr & Mrs J. Thomas

ARCHITECTS / DESIGNERS

JO-JO & PARTNERS

TEL: 021 853 1284

CELL: 082 893 8766

PROJECT MANAGERS

PLAN PRO (PTY) LTD

TEL: 021 854 5976

CELL: 083 549 2981

STRUCTURAL ENGINEERS

L.SMITH

TEL: 021 598 3571

CELL: 082 567 1692

QUANTITY SURVEYOR

S. TRIMPELMAN

TEL: 021 469 8523

CELL: 082 469 2355

CONTRACTOR

S.W. CONSTRUCTION 9PTY0 LTD

TEL: 021 856 4983

CELL: 082 469 3357